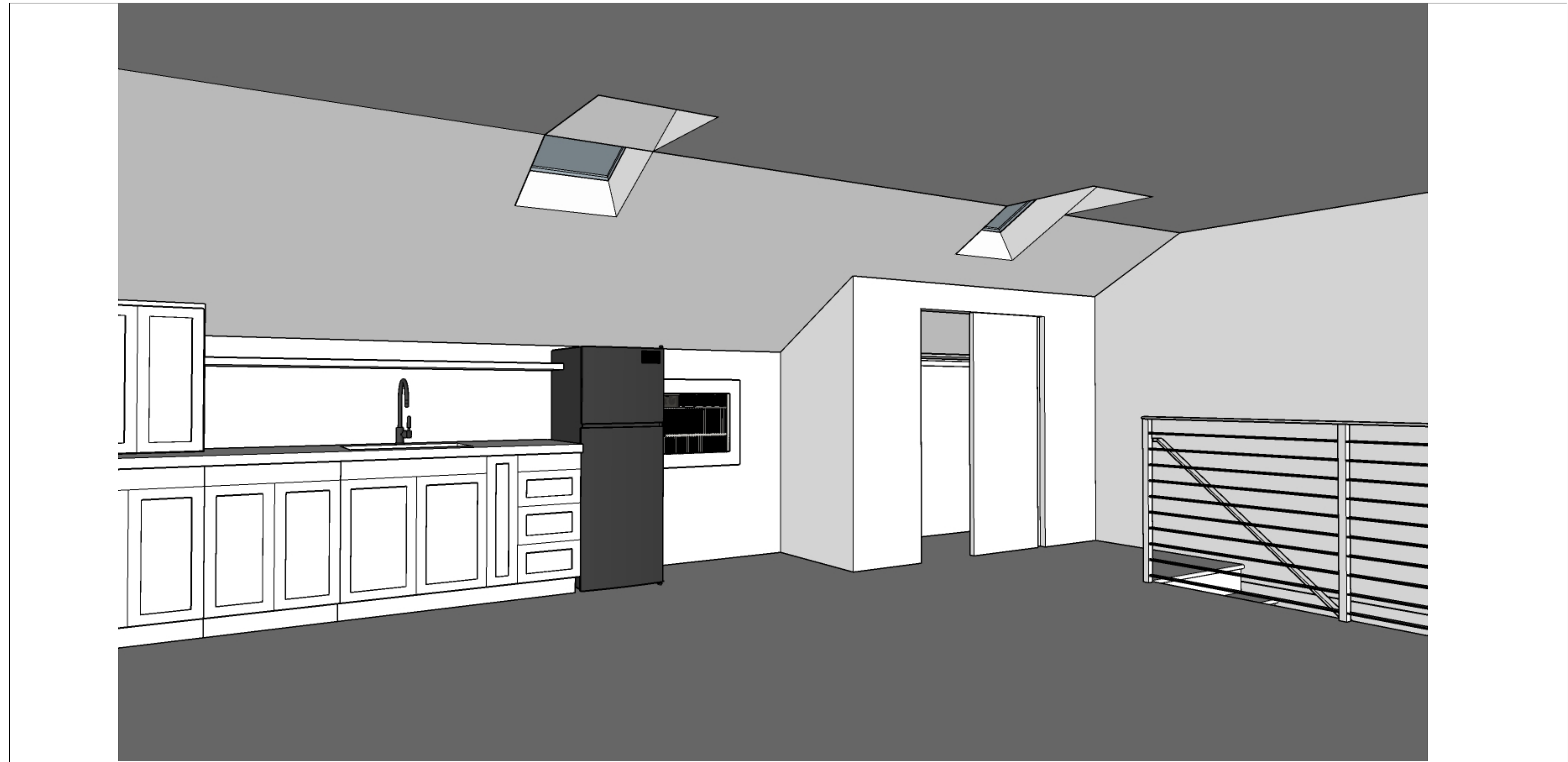


DRAWING INDEX: GENERAL

A0.00	COVER SHEET
A1.01	SITE PLAN - DEMOLITION

DRAWING INDEX: ARCHITECTURAL

D2.01	MAIN LEVEL DEMO PLAN
A2.01	MAIN LEVEL FLOOR PLAN
A2.02	UPPER LEVEL FLOOR PLAN
A3.01	EXTERIOR ELEVATIONS
A4.06	WALL TYPES



MATERIAL SYMBOLS:

[Symbol]	EARTH
[Symbol]	CRUSHED ROCK
[Symbol]	STONE
[Symbol]	CONCRETE MASONRY UNIT (CMU)
[Symbol]	BRICK
[Symbol]	STRUCTURAL CONCRETE
[Symbol]	PLASTER/GWB
[Symbol]	PLYWOOD
[Symbol]	RIGID INSULATION
[Symbol]	SAND
[Symbol]	STEEL
[Symbol]	TILE - HERRINGBONE
[Symbol]	TILE - RUNNING 1x1
[Symbol]	TILE - RUNNING 2x1
[Symbol]	TILE - RUNNING 3x1
[Symbol]	TILE - STACKED 1x1
[Symbol]	TILE - STACKED 2x1
[Symbol]	TILE - STACKED 3x1

NOTATION SYMBOLS:

[Symbol]	BASEMENT F.F. (EL 6990'-0")
[Symbol]	HEIGHT REFERENCE
[Symbol]	GRID LINES
[Symbol]	EXTERIOR ELEVATION REFERENCE
[Symbol]	INTERIOR ELEVATION REFERENCE
[Symbol]	BUILDING SECTION REFERENCE
[Symbol]	WINDOW TAG
[Symbol]	DOOR TAG
[Symbol]	WALL TYPE REFERENCE
[Symbol]	DETAIL REFERENCE
[Symbol]	REVISION REFERENCE
[Symbol]	ENLARGED PLAN REFERENCE
[Symbol]	ROOM NAME
[Symbol]	ROOM NAME TAG WITH NUMBER AND SQUARE FOOTAGE
[Symbol]	ROOM NAME
[Symbol]	ROOM NAME TAG WITH NUMBER
[Symbol]	PROJECT TITLE
[Symbol]	DRAWING REFERENCE TAG
[Symbol]	PROJECT NORTH TAG

ABBREVIATIONS

ABV	ABOVE	HT	HEIGHT	SC	SOLID CORE
AC	ACOUSTICAL	HM	HOLLOW METAL	SD	STORM DRAIN
ACT	ACOUSTICAL CEILING TILE	HOR	HORIZONTAL	SF	SQUARE FOOT (AGE)
ACP	ACOUSTICAL CEILING PANEL	HW	HOT WATER HEATER	SPEC	SPECIFICATION
ADD	ADDENDUM	INCL	INCLUDE (D), (ING)	SQ	SQUARE
ADJ	ADJACENT	ID	INSIDE DIAMETER	ST	STAIN
AFF	ABOVE FINISHED FLOOR	IBC	INSTALLED BY CONTRACTOR	STD	STANDARD
ALUM	ALUMINUM	IBO	INSTALLED BY OWNER	STL	STEEL
AP	ACCESS PANEL	INS	INSULATE (D), (ING)	STR	STRUCTURE (AL)
ARCH	ARCHITECT (URAL)	INT	INTERIOR	T	TREAD
BSMT	BASEMENT	JC	JANITOR'S CLOSET	TEL	TELEPHONE
BRG	BEARING	KIT	KITCHEN	TV	TELEVISION
BVL	BEVELED	LAM	LAMINATED	THR	THRESHOLD
BIT	BITUMINOUS	LAV	LAVATORY	T&G	TONGUE AND GROOVE
BLK	BLOCK	LH	LEFT HAND (ED)	TOS	TOP OF SLAB
BLKG	BLOCKING	L	LENGTH	T&G	TONGUE AND GROOVE
BOT	BOTTOM	LDT	LIGHT AND DRAPERY TROUGH	TOW	TOP OF WALL
BDS	BUILDING	LT	LIGHT TROUGH	TB	TOWEL BAR
CPT	CARPET	LTL	LINTEL	TR	TRANSOM
CSMT	CASEMENT	LVR	LOUVER	TYP	TYPICAL
CLR	CEILING	MH	MANHOLE	UNO	UNLESS NOTED OTHERWISE
CLG	CERAMIC TILE	MFR	MANUFACTURE	VB	VAPOR BARRIER
CLD	CEILING	MO	MASONRY OPENING	VF	VERIFY IN FIELD
COD	CARBON MONOXIDE DETECTOR	MTL	METAL	VERT	VERTICAL
COL	COLUMN	MAX	MAXIMUM	VCT	VINYL COMPOSITION TILE
CONC	CONCRETE	MECH	MECHANIC (AL)	WC	WATER CLOSET
CMU	CONCRETE MASONRY UNIT	MC	MEDICINE CABINET	WP	WATER PROOFING
CONST	CONSTRUCTION	MEM	MEMBRANE	WWF	WELDED WIRE FABRIC
CONT	CONTINUOUS	M	METER (S)	W	WIDE (TH)
CJT	CONTROL JOINT	MM	MILLIMETER (S)	WDW	WINDOW
CPR	COPPER	MIN	MINIMUM	WO	WITHOUT
CUST	CUSTOM	MIR	MIRROR	WD	WOOD
DT	DRAPERY TROUGH	MULL	MULLION (S)		
DTL	DETAIL	NAT	NATURAL		
DIM	DIMENSION	NR	NOISE REDUCTION		
DR	DOOR	NOM	NOMINAL		
DRW	DRAWING	NIC	NOT IN CONTRACT		
DF	DRINKING FOUNTAIN	NTS	NOT TO SCALE		
ELEC	ELECTRIC (AL)	OPG	OPENING		
EL	ELEVATION (S)	OPP	OPPOSITE		
ELEV	ELEVATOR	OPH	OPPOSITE HAND		
EQ	EQUAL	OH	OVERHEAD		
EXH	EXHAUST	PAIR	PAIR		
FC	FACE OF CONCRETE	PK	PARKING		
FOF	FACE OF FINISH	PVMT	PAVEMENT		
FOM	FACE OF MASONRY	PL	PROPERTY LINE		
FOS	FACE OF STUDS	PLAM	PLASTIC LAMINATE		
FIN	FINISH (ED)	PT	POINT		
FINI	FINISHED FLOOR ELEVATION	PSI	POUNDS PER SQUARE FOOT		
FHC	FIRE HOSE CONNECTION	REF	REFERENCE		
FEC	FIRE EXTINGUISHER CABINET	REFR	REFRIGERATOR		
FP	FIREPLACE	REIN	REINFORCE (D), (ING)		
FPS	FIREPROOFING SPRAYED	REQ	REQUIRED		
FLG	FASHING	RES	RESILIENT		
FLR	FLOOR (ING)	REV	REVERSE		
FND	FOUNDATION	RH	RIGHT HAND (ED)		
FUR	FURRED (ING)	RIS	RISER		
FPFB	FREEZE PROOF HOSE BIB	RAS	ROOF AND SHELF		
GALV	GALVANIZED	RD	ROOF DRAIN		
GC	GENERAL CONTRACTOR	RDT	RECESSED DRAPERY TRACK		
GL	GLASS, GLAZING	REG	REGROUING		
GWB	GYPSTUM WALL BOARD	RM	ROOM		
GYP	GYPSTUM BOARD	RO	ROUGH OPENING		
HB	HOSE BIB	RS	ROUGH SAWS		
HDW	HARDWARE	S	SEALANT (EXTERIOR)		
HDR	HEADER	SHG	SHATHING		
HTG	HEATING	SHH	SHOWER HEAD		
HVAC	HEATING/VENTILATING/AC	SM	SHEET METAL		
		SIM	SIMILAR		

GENERAL NOTES:

- DO NOT SCALE DRAWINGS
- VERIFY ALL DIMENSIONS, CONDITIONS AND UTILITY LOCATIONS ON THE JOBSITE PRIOR TO BEGINNING ANY WORK OR ORDERING ANY MATERIAL. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES IN THE DOCUMENTS IMMEDIATELY.
- AREAS OF CONFLICTS OR DISCREPANCIES MUST BE FULLY RESOLVED WITH WRITTEN APPROVAL FROM THE ARCHITECT BEFORE CONSTRUCTION CONTINUES IN THOSE AREAS.
- PLAN DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE, UNLESS NOTED OTHERWISE. SECTION AND ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD, OR TOP OF WALL PLATES OR BEAMS UNLESS NOTED OTHERWISE.
- PROVIDE ALL NECESSARY BLOCKING IN STUD WALLS AND CEILINGS. LOCATIONS INCLUDE BUT ARE NOT LIMITED TO CEILING AND WALL MOUNTED FIXTURES, TOILETS, TOILET ACCESSORIES, CABINETRY, COUNTERTOPS, SHELVES AND CLOSET ROOFS.
- DENOTES DOORS, REFER TO DOOR SCHEDULE FOR DOOR TYPES.
- DENOTES WINDOWS, REFER TO WINDOW SCHEDULE FOR WINDOW TYPES.
- COORDINATE ALL A-ELECTRICAL AND MECHANICAL FIXTURES TO FIT WITHIN CEILING, FLOOR AND WALL SPACES. VERIFY LOCATIONS WITH ARCHITECT.
- IN THE EVENT THAT ADDITIONAL DETAILS OR GUIDANCE IS NEEDED BY THE CONTRACTOR FOR CONSTRUCTION OF ANY ASPECTS OF THE PROJECT, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SATISFYING ALL APPLICABLE CODES AND OBTAINING ALL PERMITS AND REQUIRED APPROVALS. THIS PROJECT IS GOVERNED BY THE INTERNATIONAL RESIDENTIAL CODE 2018 EDITION. CODE COMPLIANCE IS MANDATORY. THE CONSTRUCTION DOCUMENTS SHALL NOT PERMIT WORK THAT DOES NOT CONFORM TO ALL RELEVANT CODES INCLUDING IBC AND ALL LOCAL AND REGIONAL CODES.
- THE CONTRACTOR SHALL FIELD COORDINATE AND OBTAIN APPROVAL FROM THE ARCHITECT AND ENGINEER BEFORE ANY CUTTING, NOTCHING OR DRILLING OF ANY CAST-IN-PLACE CONCRETE, STEEL, FRAMING OR ANY OTHER STRUCTURAL ELEMENTS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING GRADES AND STAKE OUT THE BUILDING FOOTPRINT FOR OWNER AND ARCHITECT APPROVAL PRIOR TO BEGINNING ANY SITE WORK.
- IT IS THE INTENT AND MEANING OF THESE DOCUMENTS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB WITHIN THE RECOGNIZED STANDARD OF THE INDUSTRY.
- ALL BUILDINGS TO FIT WITHIN PROPERTY LINES WITHOUT CROSSING EASEMENTS OR SETBACKS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- PROVIDE ACCESS PANEL TO MOTOR FOR ALL WHIRLPOOL TYPE TUBS. COORDINATE ACCESS LOCATIONS WITH INTERIOR DESIGNER AND ARCHITECT TO PROVIDE INCONSPICUOUS LOCATION.

PROJECT DIRECTORY

ARCHITECTURE	Todd Charlton 3689 S Solitaire Drive Salt Lake City, Utah 84106 (208) 850-2194 Email: todd@cooperhomes.com
STRUCTURAL ENGINEER:	
CONTRACTOR:	tbcd --- (xxx) xxx-xxxx Contact: xx Email:
SURVEYOR:	

PROJECT SUMMARY

Codes:	International Residential Code 2015 Occupancy: Single-Family Dwelling
Separations:	1 hour (residential/garage) 1 hour (residence/mechanical)
Special Attributes:	Intelligent Addressable Fire alarm Automatic: Sprinkler System

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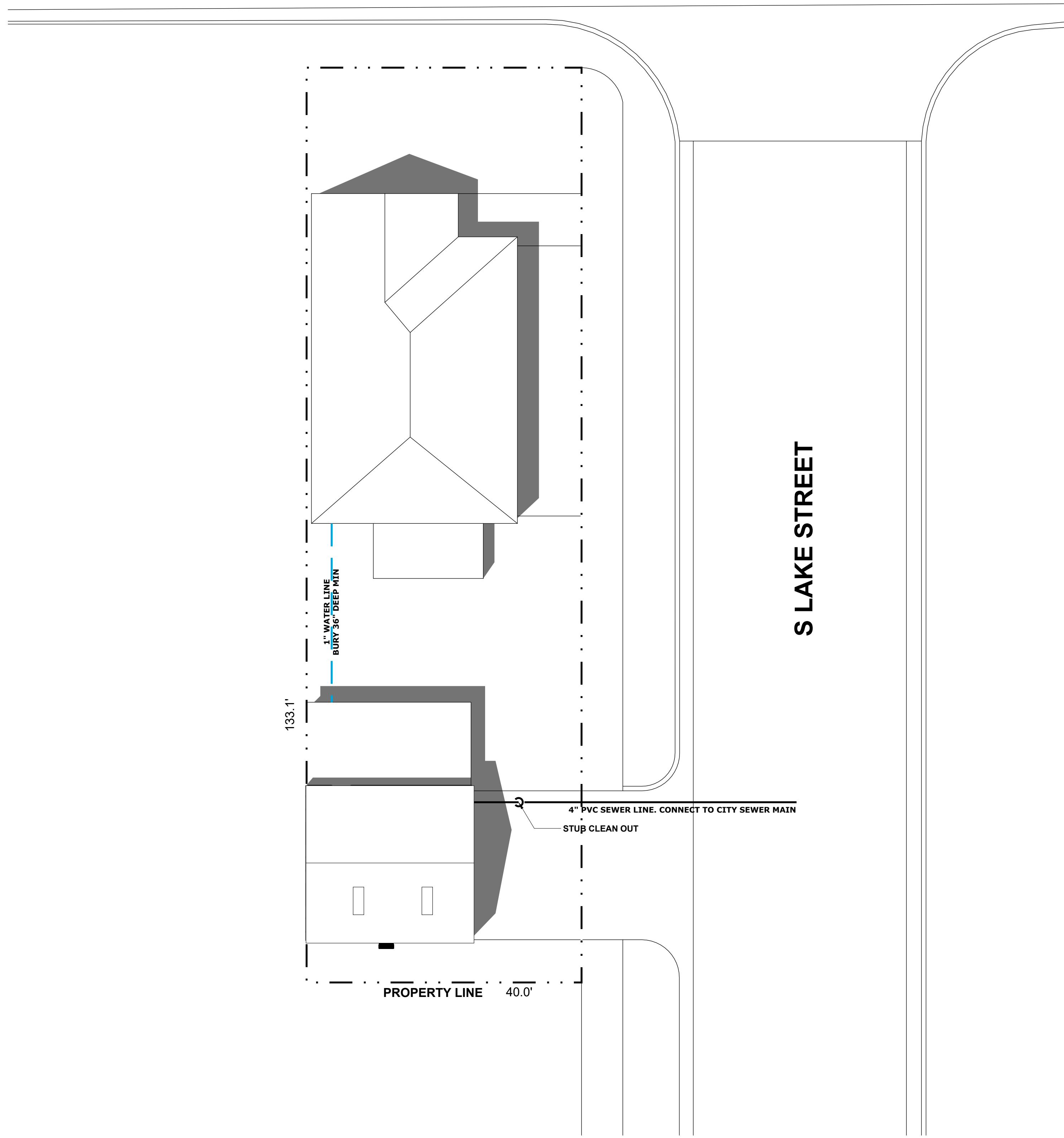
ISSUED FOR:	DATE:
PERMIT SET	01/26/21
PERMIT COMMENTS	XX/XX/XX

COWLEY REMODEL
 (LOT 1, BLOCK 4, PARADISE ADD), 738 E 1700 S, SALT LAKE CITY, SALT LAKE COUNTY, UTAH 84105

ISSUED FOR:	DATE:
PERMIT SET	01/26/21
PERMIT COMMENTS	XX/XX/X

Site Plan
 Demolition

E 1700 S



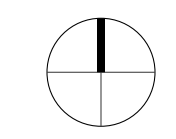
133.1'

1" WATER LINE
 BURY 36" DEEP MIN

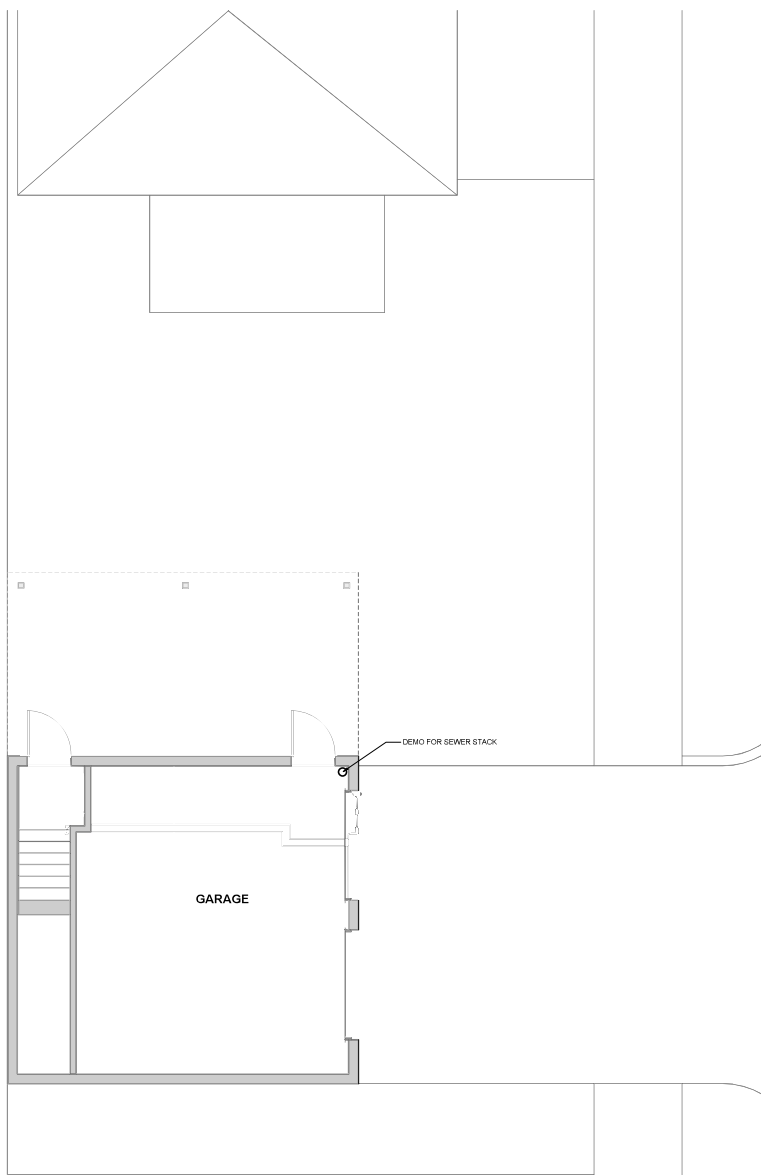
PROPERTY LINE 40.0'

S LAKE STREET

4" PVC SEWER LINE. CONNECT TO CITY SEWER MAIN
 STUB CLEAN OUT



1 SITE PLAN DEMOLITION
 DL01 SCALE: 1"=10'



GENERAL DEMOLITION NOTES:
 VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO DEMOLITION.
 ALL DIMENSIONS SHALL BE GIVEN FOR ACCURACY.
 DEMOLISH ALL ADJACENT ITEMS TO ACCEPT NEW WORK.

- DEMOLITION KEYNOTES:**
- REMOVE EXISTING FLOOR AND PREP FOR NEW CONSTRUCTION.
 - REMOVE EXISTING CEILING AND PREP FOR NEW CONSTRUCTION.
 - REMOVE EXISTING WALL.
 - REMOVE EXISTING DOOR.
 - REMOVE EXISTING WINDOW.
 - REMOVE EXISTING SILLING.
 - REMOVE EXISTING SILLING.
 - REMOVE EXISTING SILLING AND COUNTERTOPS.
 - REMOVE EXISTING FLOORING, SILLING AND PREP FOR NEW CONSTRUCTION.



COMPANY NAME
 J COOPER HOMES
 (208) 850-2194

COWLEY REMODEL
 (LOT 1, BLOCK 4, PARADISE ADD) 738 E 1700 S, SALT LAKE CITY, SALT
 LAKE COUNTY, UTAH 84105

ISSUED FOR	DATE
PERMIT SET	01/28/21
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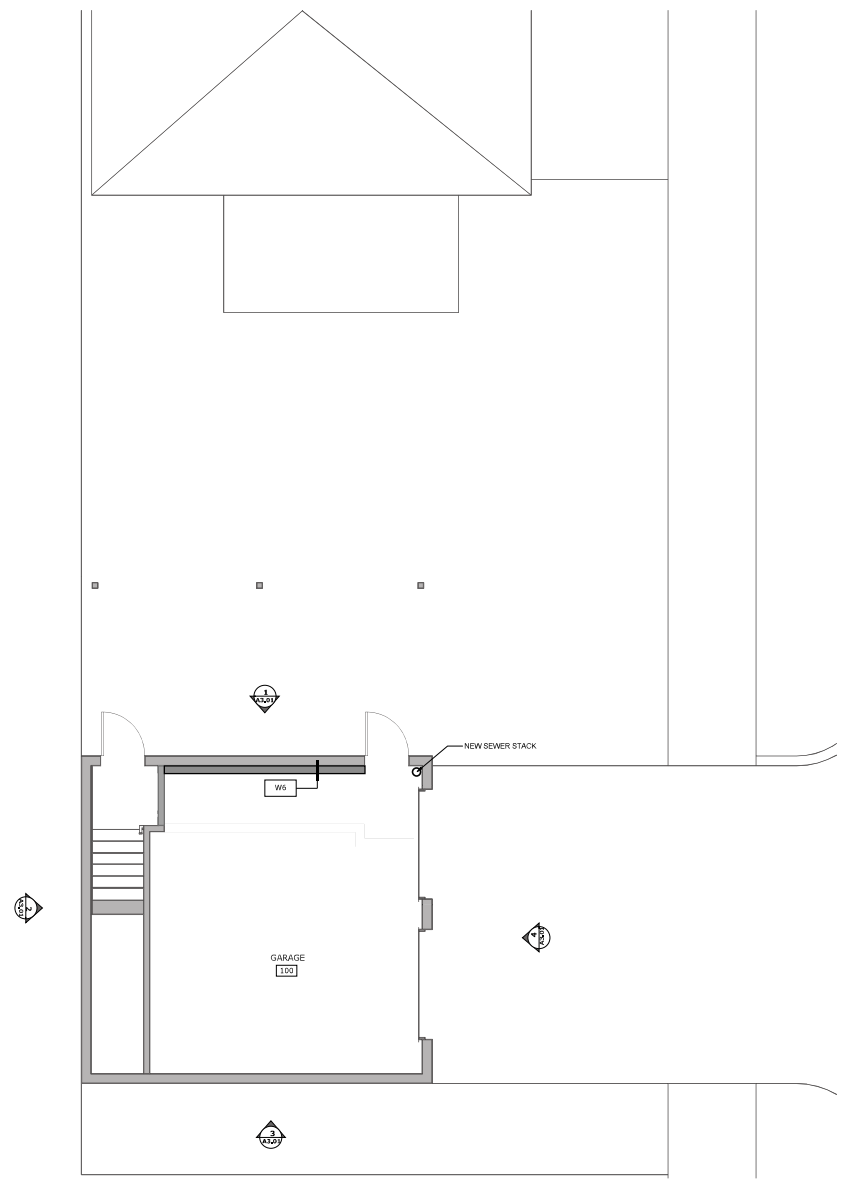
**Main Level
 Demolition Plan**

1 MAIN LEVEL DEMOLITION PLAN
DATE: 01/28/21



ISSUED FOR	DATE
PERMIT SET	01/28/21
PERMIT COMMENTS	XXXXXX

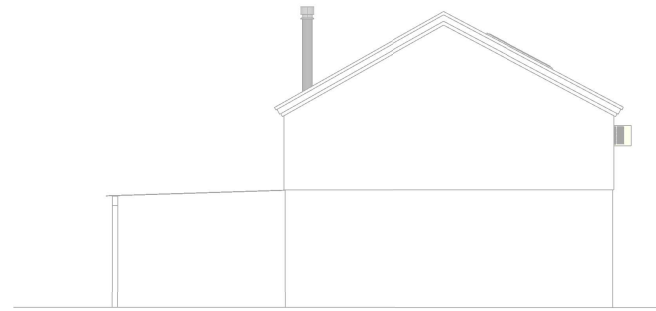
- GENERAL NOTES:**
1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL AND STATE REGULATIONS.
 2. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN.
 3. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL AND STATE REGULATIONS.
 4. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL AND STATE REGULATIONS.
- ELECTRICAL KEY:**
- ⊕ PENDANT LIGHT
 - ⊗ DIRECTIONAL LIGHT
 - ⊘ CEILING MOUNTED LIGHT
 - ⊙ WALL MOUNTED LIGHT
 - ⊖ WALL MOUNTED SCONCE
 - ⊙ RECESSED CEILING LIGHT
 - ⊙ MONOPOINT LIGHT
 - ⊙ RECESSED WALL LIGHT
 - ▭ UNDER-CABINET LED STRIP LIGHT
 - ▭ FLUORESCENT LIGHT
 - ▭ LED STRIP LIGHTING
 - ▭ TRACK LIGHT
 - ⊙ CARBON MONOXIDE SMOKE DETECTOR
 - ⊙ SMOKE DETECTOR
 - ⊙ SPEAKER
 - ⊙ BATHROOM EXHAUST FAN
 - ⊙ SWITCH
 - ⊙ KEY PAD SWITCH
 - ⊙ MULTIPLE SWITCH
 - ⊙ DIMMER SWITCH
 - ⊙ DUPLEX RECEPTACLE
 - ⊙ DUPLEX RECEPTACLE
 - ⊙ QUAD RECEPTACLE
 - ⊙ THERMOSTAT



1 MAIN LEVEL FLOOR PLAN
DATE: 01/28/21



1 NORTH ELEVATION
Scale: 1/4"=1'-0"



2 WEST ELEVATION
Scale: 1/4"=1'-0"



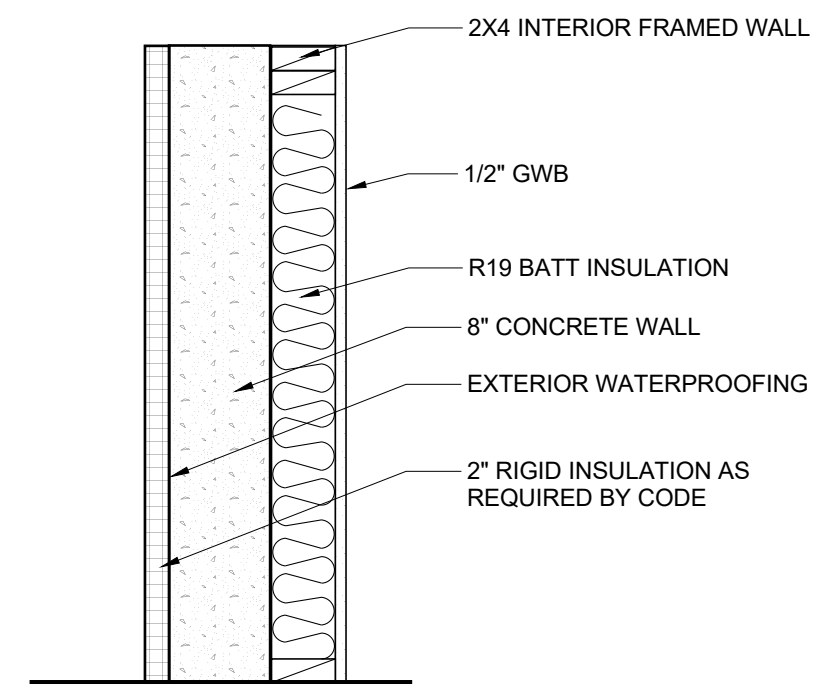
Garage Height is 20' 9"

3 SOUTH ELEVATION
Scale: 1/4"=1'-0"

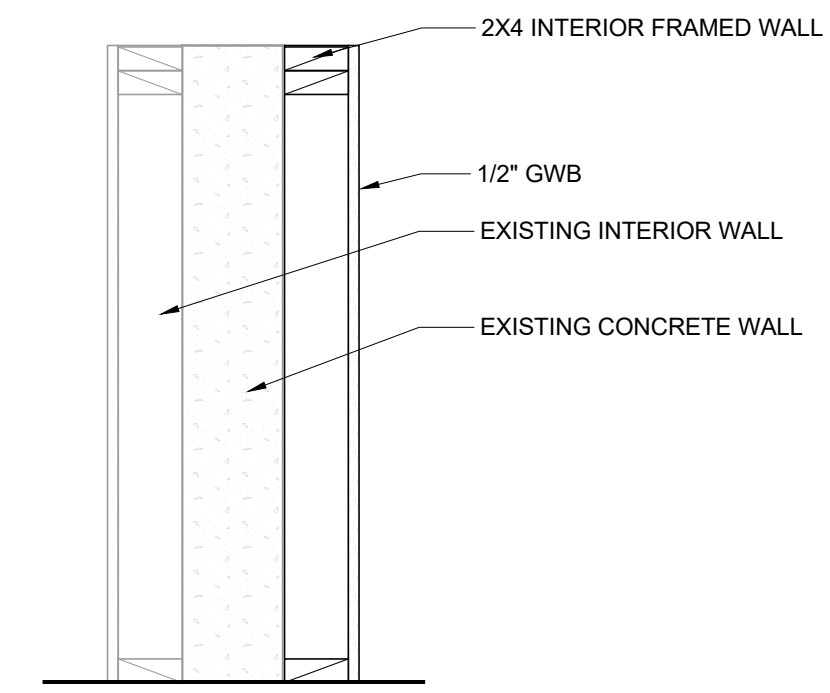


4 EAST ELEVATION
Scale: 1/4"=1'-0"

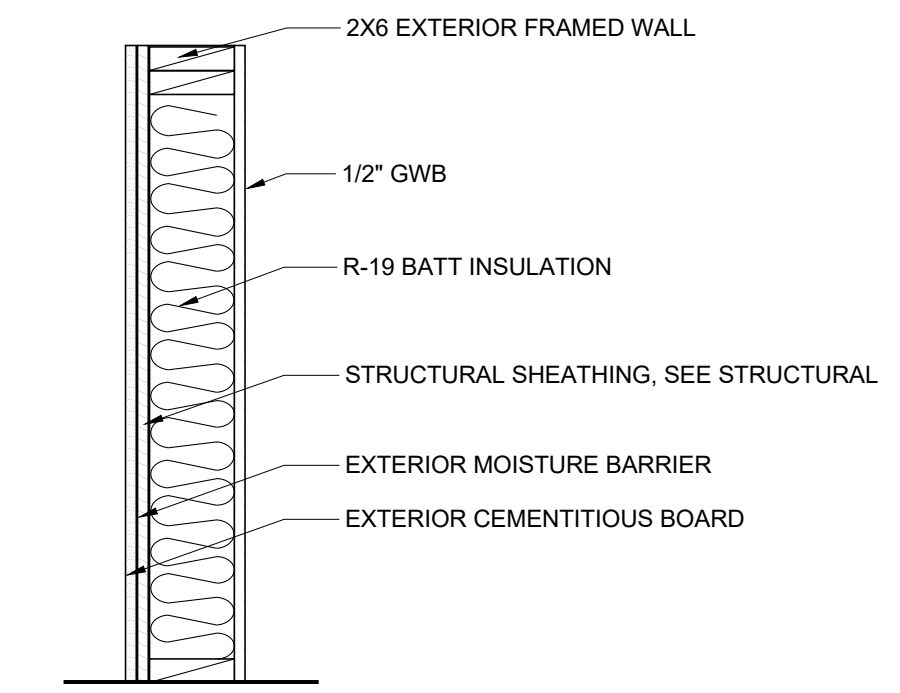
- GENERAL NOTES:**
1. ALL WINDOWS AND EXTERIOR DOORS SHALL MATCH COLOR TO MATCH
 2. ALL TRIM AND ROOF LINE SHALL MATCH TO BE IN ACCORDANCE WITH THE ARCHITECT'S INTENT
 3. EXTERIOR WALLS SHALL BE FINISHED WITH A FINISH TO MATCH THE EXISTING FINISH
 4. EXTERIOR WALLS SHALL BE FINISHED WITH A FINISH TO MATCH THE EXISTING FINISH
 5. EXTERIOR WALLS SHALL BE FINISHED WITH A FINISH TO MATCH THE EXISTING FINISH
 6. EXTERIOR WALLS SHALL BE FINISHED WITH A FINISH TO MATCH THE EXISTING FINISH
 7. EXTERIOR WALLS SHALL BE FINISHED WITH A FINISH TO MATCH THE EXISTING FINISH
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 9. EXTERIOR WALLS SHALL BE FINISHED WITH A FINISH TO MATCH THE EXISTING FINISH
 10. EXTERIOR WALLS SHALL BE FINISHED WITH A FINISH TO MATCH THE EXISTING FINISH



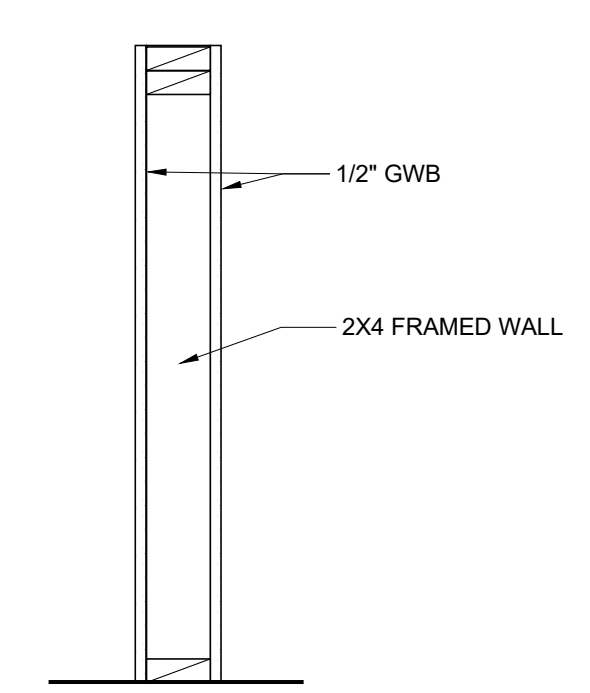
W1



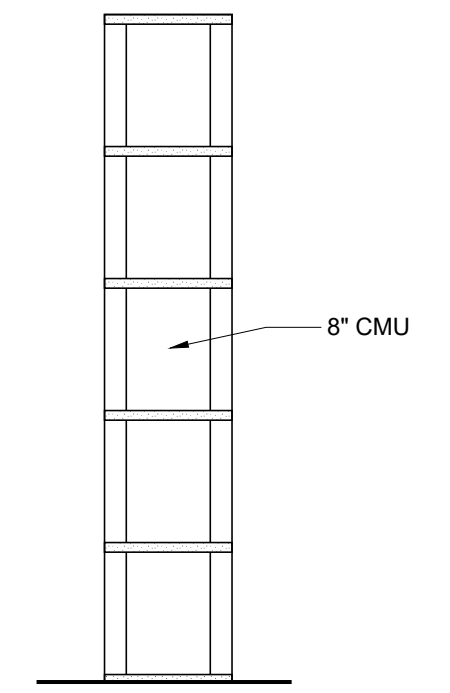
W1a



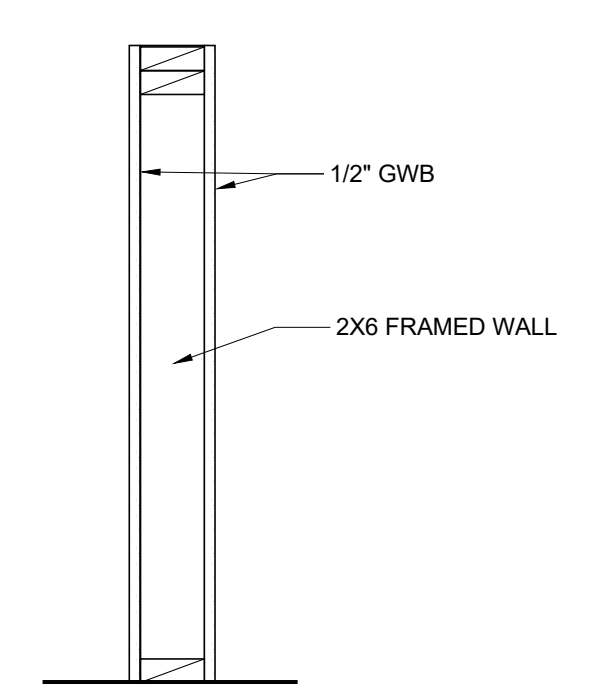
W3



W4



W5



W6

COWLEY REMODEL
 (LOT 1, BLOCK 4, PARADISE ADD), 738 E 1700 S, SALT LAKE CITY, SALT
 LAKE COUNTY, UTAH 84105

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Wall Types